

GN- GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2016 CBC, 2016 CRC, 2016 CMC, 2016 CPC, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2016 CFC, 2016 CA ENERGY COMMISSION STANDARDS & ALL CITY OF SANTA BARBARA AMENDMENTS
- UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION
- ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
- ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE OF STUD, CONCRETE, OR MASONRY
- SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED/MANDATORY ENERGY FEATURES FOR: WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
- PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBC 4.410]

BMP- STORMWATER BEST MANAGEMENT PRACTICES

- DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK, AVAILABLE FOR DOWNLOAD AT [WWW.CABMPHANDBOOKS.COM](http://www.cabmphandbooks.com) & <http://www.dsl.ca.gov/regcons/stormwater/bmpmanual.htm>
- GENERAL CONTRACTORS/CONTRACTORS AS APPLICABLE ARE RESPONSIBLE FOR THE TRAINING OF PERSONNEL IN THE PROPER DISPOSITION OF CONSTRUCTION WASTE & IMPLEMENTATION OF BMPs
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND
- SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS
- ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER
- PRESERVE EXISTING VEGETATION AT AREAS ON THE SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A LATER DATE
- WATER USED DURING CONSTRUCTION ACTIVITIES IS TO BE USED IN A MANNER THAT AVOIDS CAUSING EROSION AND/OR THAT TRANSPORTS POLLUTANTS OFF SITE
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED

SI- SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

- ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE CALIFORNIA BUILDING CODE
- CONTRACTOR TO OBTAIN APPROPRIATE SPECIAL INSPECTION/OBSERVATION REPORT DOCUMENTATION PRIOR TO REQUESTING AN INSPECTION BY THE LOCAL BUILDING AUTHORITY
- WINDWARD TO OBSERVE REINFORCEMENT STEEL PRIOR TO CONCRETE PLACEMENT
- WINDWARD TO OBSERVE FRAMING & SHEAR WALL NAILING AFTER PLUMBING, MECHANICAL & ELECTRICAL ROUGH-IN WORK HAS BEEN COMPLETED
- EPOXY - UNO, PERIODIC INSPECTION REQUIRED FOR RETROFITTED ANCHOR BOLTS (5-8504 - CONC-EPOXY ANCHOR BOLT)
- CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS



City of Santa Barbara
Community Development Department
SantaBarbaraCA.gov

Director's Office
Tel: (805) 564-5502
Fax: (805) 564-5477

Administration, Housing
& Human Services
Tel: (805) 564-5461
Fax: (805) 564-5477

Building & Safety
Tel: (805) 564-5485
Fax: (805) 564-5476

Planning
Tel: (805) 564-5470
Fax: (805) 564-5477

Rental Housing
Mediation Program
Tel: (805) 564-5420
Fax: (805) 564-5477

630 Garden Street
PO Box 1990
Santa Barbara, CA
93101-1990

Building & Safety Division
Amended Notice of Violation

AUGUST 16, 2018

Evelyn Rios, Amparo Gracia Rios & Gilberto Rios Aguilar
733 W. Mission St.
Santa Barbara, CA 93101

APN: 043-122-001
Case Number: ENF2018-00688

Subject Property: 733 W. Mission St., Santa Barbara, CA 93101

Dear Evelyn Rios, Amparo Gracia Rios & Gilberto Rios Aguilar:

Due to a recent concern filed with the Building & Safety Division, an inspection at the Subject Property was performed on July 26, 2018 and August 8, 2018. As a result of our investigation, we have found the Property to be in violation of Santa Barbara Municipal Code Section 22.04.010 as follows:

BUILDING VIOLATIONS:

- 1) A 6' fence has been constructed without approvals or permit along property line on S/W side of house. (Photos 1-3)
- 2) A water heater has been installed without permit on S/W side of house (Photos 2-4)
- 3) A water heater on S/E side of house has not been maintained correctly and is not adequately installed. (Photo 5)
- 4) A laundry area has been added to S/E side of house without permit. (Photo 5)
- 5) The garage and garage door has been altered to prevent vehicle access. (Photos 6-8)
- 6) The driveway has been removed without permit. (Photo 10)

CODE SECTION: 2016 California Residential Code, Section R81.01 PERMITS

Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

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REMEDY: A building permit will be required for the construction listed above. Bring this Notice to the Building Permit Counter at 630 Garden Street and ask for an explanation of the plan submittal that will be required for permit application and issuance. Be aware that permit issuance must be obtained by the dates prescribed in this Notice. If permits are not obtained within the prescribed time frames, you will be ordered to obtain a demolition permit immediately.

ZONING VIOLATIONS:

- The new fence along Chino St exceeds 42" height within 10' of a front lot line.
- The trash containers are located within the front yard and setbacks without proper screening.
- Outdoor storage: the vehicles are parked in the open yard, various items are also stored within the open yard and setbacks, including the portable toilet located within the front setback.
- The garage is unavailable for the parking of a vehicle.
- Commercial vehicles parked at a residence.
- The driveway was removed and replaced with gravel, a prohibited loose material.
- The parking and garage are being used to support a non-approved Home Occupation.

CODE SECTIONS:

- SBMC§30.140.110 – Fences and Hedges
- E. Residential Zones. The following standards apply to fences and hedges located within Residential Zones.
 1. Height Limitations for Fences and Hedges.
 - a. Hedges Within Required Front and Interior Setbacks: Eight feet.
 - b. Fences Within Required Front and Interior Setbacks: Eight feet, except fences closer than 10 feet of a front lot line shall not exceed a height of 42 inches.
- SBMC§30.140.240 – Waste, Recycling, and Outdoor Storage
- A. Waste and Recycling Storage. Appropriately screened and located storage areas for solid waste and recycling receptacles that provide sufficient capacity for the development or use shall be provided, as follows:
 6. Location. No portion of any front yard, setback, open yard, or front porch shall be used to store waste, recycling or similar receptacles.
- B. Outdoor Storage. No portion of any front yard or any setback, required open yard, or front porch shall be used for the storage or parking of motor vehicles, trailers, airplanes, boats, parts of any of the foregoing, appliances, loose rubbish or garbage, junk, tents, building materials, compost pile, or any similar item, for a period of 48 or more consecutive hours, except as provided below.

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benefits shall be paid by you, the owner or designated agent, to the tenant within 24 hours of the date of this notice.

This notice has also been given to the tenant in possession of the property. You cannot retaliate against the tenant pursuant to Civil Code section 1942.5. The relocation payment shall be made available by you, the owner or designated agent, to the tenant pursuant to Health and Safety Code section 17975.2.

Contact information

My direct office phone number is (805) 897-2505. Our offices are closed every other Friday please call 564-5485 to find out the Friday we will be closed. Inspector office hours are 7:30-8:30 a.m. and 3:00-4:00 p.m. Monday through Friday except for Thursday afternoon and our "off" Friday. You may also contact our office for plan submittal and permit issuance requirements at (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday. The Community Development public counters are located at 630 Garden Street. Additional information is available online at www.SantaBarbaraCA.gov

Your prompt attention to this matter is appreciated.

Sincerely,

Pete Mikelson
Building Inspector

Attachment: Field Investigation Images

Cc: File

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PROJECT DATA

SCOPE OF WORK -

- ADDRESS VIOLATIONS CONTAINED IN ENF2018-00688:
- * REPLACE UNPERMITTED 6 FT WOOD FENCE ON CHINO ST. PROPERTY LINE WITH 42" FENCE
 - * REMOVE UNPERMITTED WATER HEATER ON WEST SIDE OF HOUSE
 - * REPLACE WATER HEATER ON EAST SIDE OF HOUSE, RELOCATE TO SOUTH SIDE OF HOUSE
 - REINSTALL TO SERVICE BOTH UNITS
 - * PERMIT LAUNDRY AREA ON EAST SIDE OF HOUSE
 - * REPLACE GRAVEL DRIVEWAY WITH 2032 SF PAVAR DRIVEWAY
 - * REMOVE VEHICLES AND BUILDING MATERIALS FROM WITHIN SETBACKS
 - * REMOVE PORTABLE TOILET FROM WITHIN SETBACK
 - * CEASE USING PARKING AND SHED FOR NON-APPROVED HOME OCCUPATION
 - * CEASE PARKING COMMERCIAL VEHICLES AT SITE
 - * CONVERT STRUCTURE PERMITTED AS SINGLE CAR GARAGE TO STORAGE SHED

NEW CONSTRUCTION:

- * CONSTRUCT SCREENED 4-CAR PARKING AREA WITH 766 SF CARPORT COVER
- * CONSTRUCT SCREENED TRASH AREA ON SOUTH SIDE OF HOUSE
- * PERMIT 1390 SF AS-BUILT PAVAR PATIO
- * CONSTRUCT 306 SF GAZEBO AT AS-BUILT PAVAR PATIO PER PLAN

LOCATION: 733 WEST MISSION STREET

APN: 043-122-001

JURISDICTION: CITY OF SANTA BARBARA

LAND USE ZONE: R-2 (SBMC TITLE 30)

LOT SIZE: 9,989 SF

AVERAGE SLOPE OF PROPERTY: 2 %

OCCUPANCY CLASSIFICATION (E): R-3

OCCUPANCY CLASSIFICATION (P): R-3

CONSTRUCTION TYPE: V-B

PARKING :	PERMITTED REQUIRED	1 COVERED PER 1929 PERMIT 4
	PROPOSED	4 COVERED

HIGH FIRE: NO

SPINKLERS: NO

FLOOD ZONE: NO

STORIES: 1

HEIGHT: 14'-6" ±

PROJECT STATISTICS-

TYPE	STATUS	DESCRIPTION	NET SF	GROSS SF
HABITABLE				
Existing		DUPLEX 1	696	756
Existing		DUPLEX 2	647	704
			1,343 sq ft	1,460 sq ft
NON-HABITABLE				
Existing		(E) GARAGE	184	203
New		(P) CARPORT COVER	766	766
New		(P) GAZEBO	306	306
			1,256 sq ft	1,275 sq ft
			-	-

IMPERVIOUS HARDSCAPE AREAS STATISTICS:

NEW:	TRASH	33 SF
NEW:	DRIVEWAY	2032 SF
AS-BUILT:	LAUNDRY	49 SF
AS-BUILT:	PATIO	1390 SF
TOTAL:		3504 SF

PARKING STATISTICS-

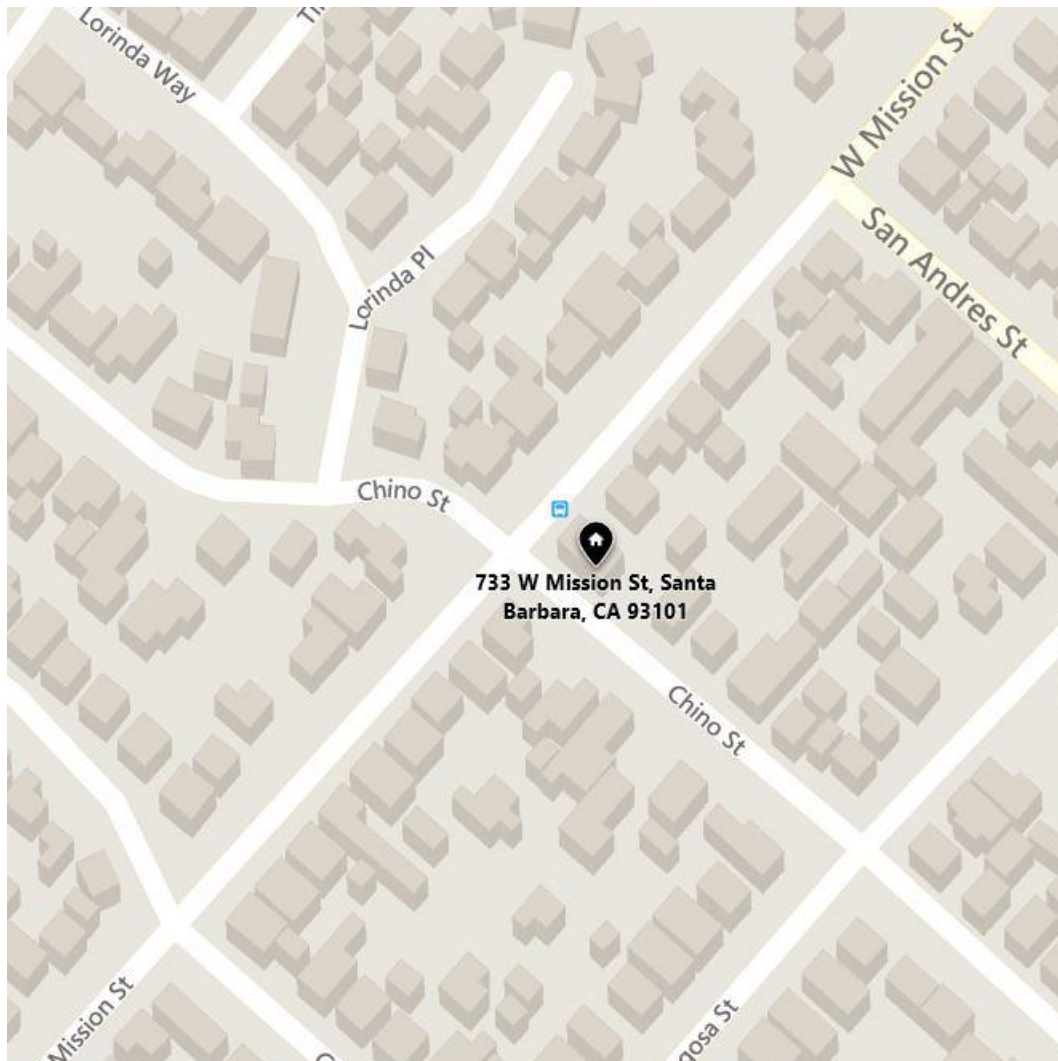
EXISTING:	1	(UNCOVERED)
REQUIRED:	4	
PROPOSED:	4	(COVERED)

REPLACED:	NONE
REMOVED:	365 SF (CONC RIBBON DRIVEWAY, EST.)

PROJECT TEAM

CLIENT:
THE RIOS & AGUILAR FAMILIES
733 WEST MISSION STREET
SANTA BARBARA, CA 93101
EMAIL: JENNIFER_NAVARRO502@YAHOO.COM

PLANS:
WINDWARD DESIGN SERVICES, LLC
424 OLIVE STREET
SANTA BARBARA, CA 93101
TEL: 805.845.6601
EMAIL: KEN@WINDWARDENG.COM



VICINITY MAP



424 OLIVE STREET
SANTA BARBARA, CA 93101
T: 805.845.6601
E: INFO@WINDWARDENG.COM

PROJECT

ENF MITIGATION
733 WEST MISSION STREET
SANTA BARBARA, CA 93101

CLIENT

THE RIOS & AGUILAR FAMILIES
733 WEST MISSION STREET
SANTA BARBARA, CA 93101

SHEET INDEX

G001	GENERAL
A101	SITE PLAN
A102	FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS

G001

SITE PLAN LEGEND	
	AREA OF ADDITION
	AREA OF REMODEL
	AREA OF OPEN YARD
	AREA DRAIN
	BACKFLOW PREVENTION
	BALL VALVE
	BIO RETENTION BASIN
	BIO RETENTION INVERT
	BIO RETENTION OVERFLOW
	CATCH BASIN
	CHANNEL/TRENCH DRAIN
	CLEANOUT
	CMU
	CUT
	DECOMPOSED GRANITE
	DECK DRAIN
	DEMOLISH
	DETENTION ZONE (DZ)
	DETENTION ZONE INVERT
	DOWNSPOUT
	DRAINAGE SLOPE
	DRIP IRRIGATION
	EASEMENT
	ELECTRIC METER
	ELEVATION (DEMO)
	ELEVATION (E)
	ELEVATION (N)
	ELECTRIC/PHONE/CATV
	EXCAVATE & COMPACT (E&C)
	EXCAVATION DEPTH
	FIBER ROLL
	FILL
	FINISHED FLOOR ELEVATION
	FINISHED GRADE ELEVATION
	FIRE HYDRANT
	FREEBOARD
	GAS METER
	GAS PIPE
	GROUND VAULT
	HANDHOLE
	LANDSCAPE
	LIMIT OF DISTURBED AREA
	OVERFLOW INVERT
	OVERHEAD WIRES
	PAVER
	PER ARCH PLAN
	PER LANDSCAPE PLAN
	PIPE INVERT
	POWER POLE
	PROPERTY LINE
	REDUCED PRESSURE
	REDUCED PRESSURE/ BACKFLOW PREVENTION
	RIP-RAP TO PREVENT EROSION
	ROUGH GRADE ELEVATION
	SELF RETAINING
	SELF TREATING
	SETBACK
	SEWER MANHOLE
	SEWER SANITARY
	SHUTOFF VALVE
	SIDEWALK
	SILT FENCE
	SLOPE OF GRADE 5% MIN FOR 10-FT AT FOUNDATION
	SPILLWAY INVERT
	SPOT ELEVATION (E)
	SPOT ELEVATION (N)
	STORM DRAIN MANHOLE
	STORMWATER (E)
	STORMWATER (N)
	SUBGRADE
	TOP OF CURB
	TOP OF DECK
	TOP OF FENCE
	TOP OF GRATE
	TOP OF PAVEMENT (B.T. CONC. TLE, ETC.)
	TOP OF WALL
	UPPER DOWNSPOUT
	UNLESS NOTED OTHERWISE
	WATER METER
	WATER SUPPLY PIPE COLD
	WATER SUPPLY PIPE HOT
	WALL DRAIN
	WETTED INVERT

DATE: 12/16/2019

DATES
09/11/2019 SFDB

SCALE AS NOTED

CREATED BY: WDS

SHEET

SITE PLAN

A101

W. MISSION ST.

CHINO ST.

KEYNOTES -

- K01 INSTALL PAVER DRIVEWAY & PROVIDE 4 PARKING SPACES. PAVER INSTALLATION PER 4-A501.
K02 REPLACE 6 FT SOLID WOOD FENCE WITH 3.5 FT PICKET WOOD FENCE
K03 REMOVE WATER HEATER TO LAUNDRY AREA. SEE P-17-A001 FOR ADDITIONAL NOTES.
K04 REMOVE PORTABLE TOILET FROM PROPERTY
K05 PROVIDE 48" SCREENED STORAGE AND PAVER SURFACE FOR TRASH/RECYCLING BINS
K06 CONSTRUCT 4-CAR CARPORT
K07 PROPOSED 6 FT HEDGE TO SCREEN CARPORT. KEEP HEDGE TRIMMED TO NO MORE THAN 3.5 FT WITHIN "VISIBILITY TRIANGLE" (SEE K10)
K08 REPLACE AND MOVE WATER HEATER TO COMPLY WITH CODE. REPLUMB TO PROVIDE SERVICE TO BOTH UNITS. SEE P-17-A001 FOR ADDITIONAL NOTES
K09 CONSTRUCT GAZEBO
K10 10 x 10 VISIBILITY TRIANGLE. NO FENCE, SCREEN, WALL OR HEDGE EXCEEDING 3.5 FT IN HEIGHT ALLOWED IN THIS AREA.
K11 (E) HEDGE TO BE ALLOWED TO GROW TO 8 FT TO PROVIDE PRIVACY SCREEN

NOTE:

- * NO PARKING OF COMMERCIAL VEHICLES ON SITE
* NO STORAGE OF COMMERCIAL MATERIAL ON SITE
* NO STORAGE WITHIN SETBACK



1 SITE PLAN
SCALE: 1/8" = 1'-0"

G001	GENERAL
A101	SITE PLAN
A102	FLOOR PLAN
A201	ELEVATIONS
A202	ELEVATIONS

DATE: 12/16/2019

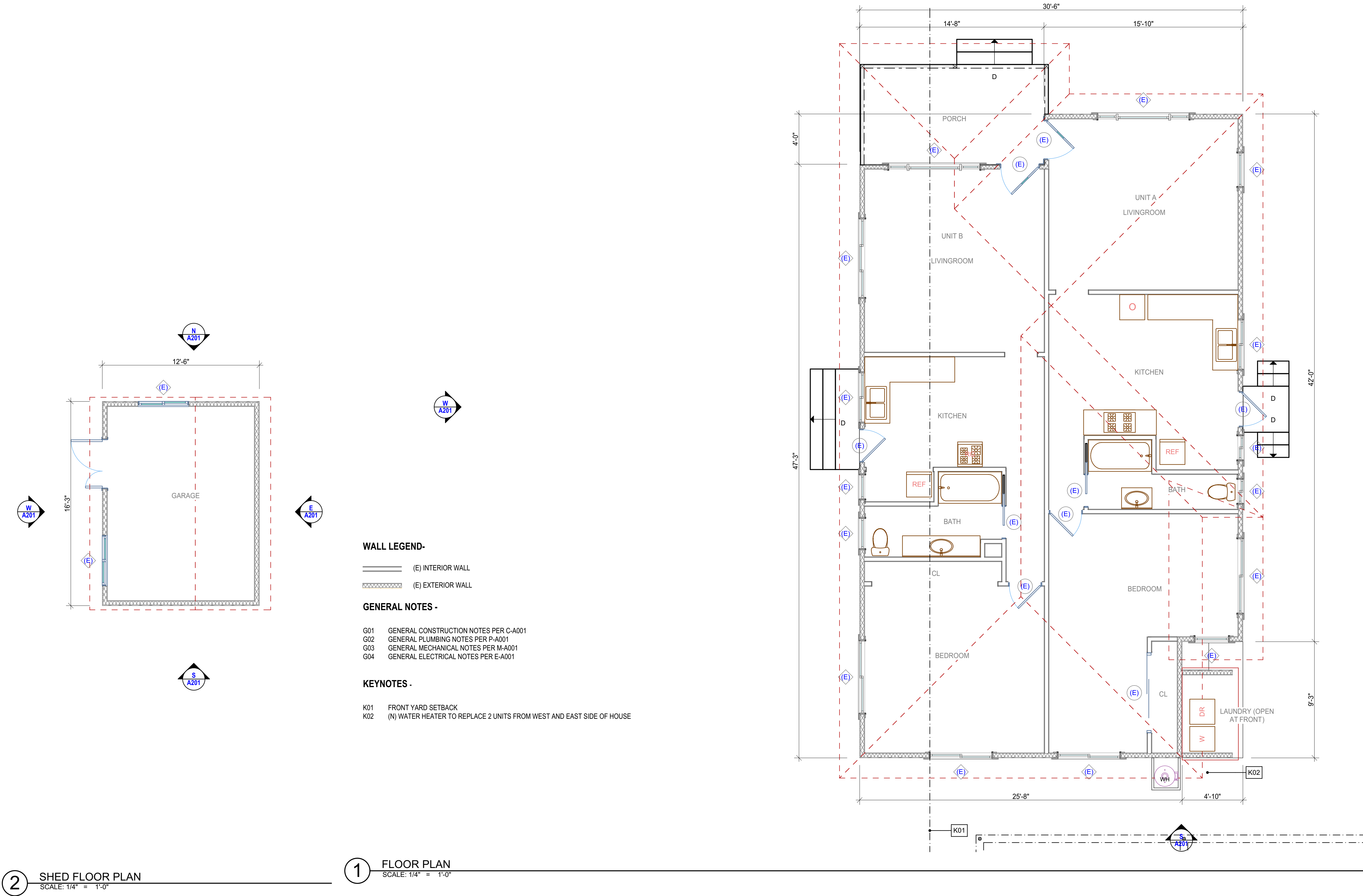
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09/11/2019 SFDB

SCALE AS NOTED

CREATED BY: WDS

SHEET
FLOOR PLAN

A102



SHEET INDEX	
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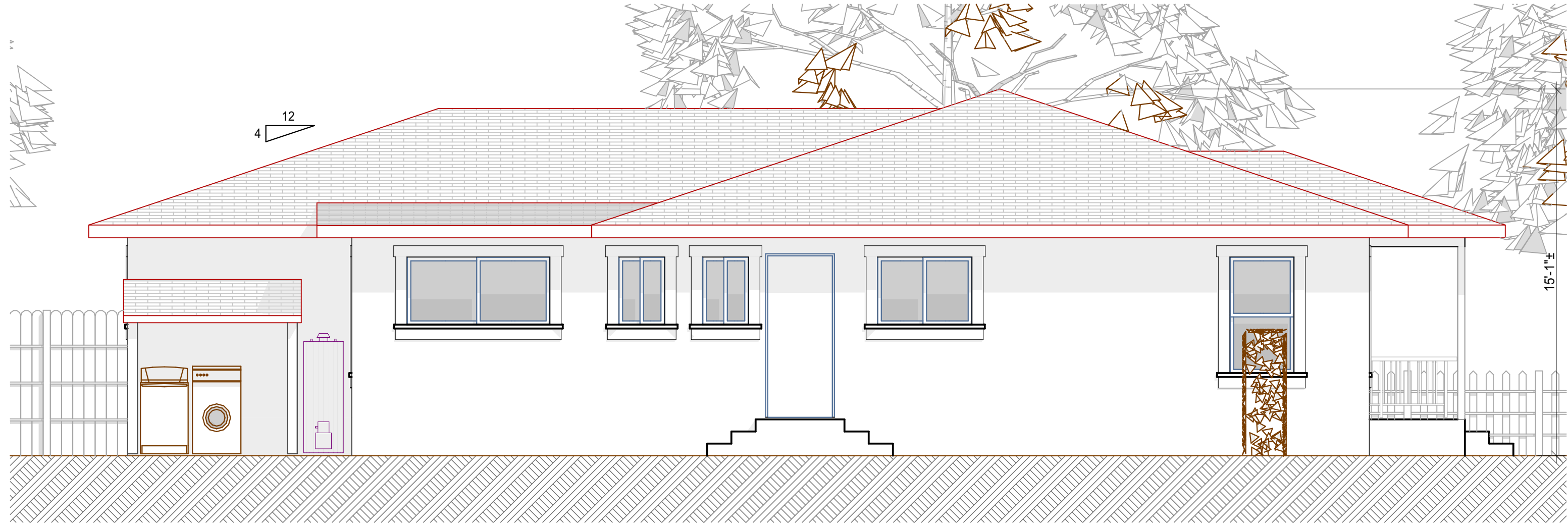
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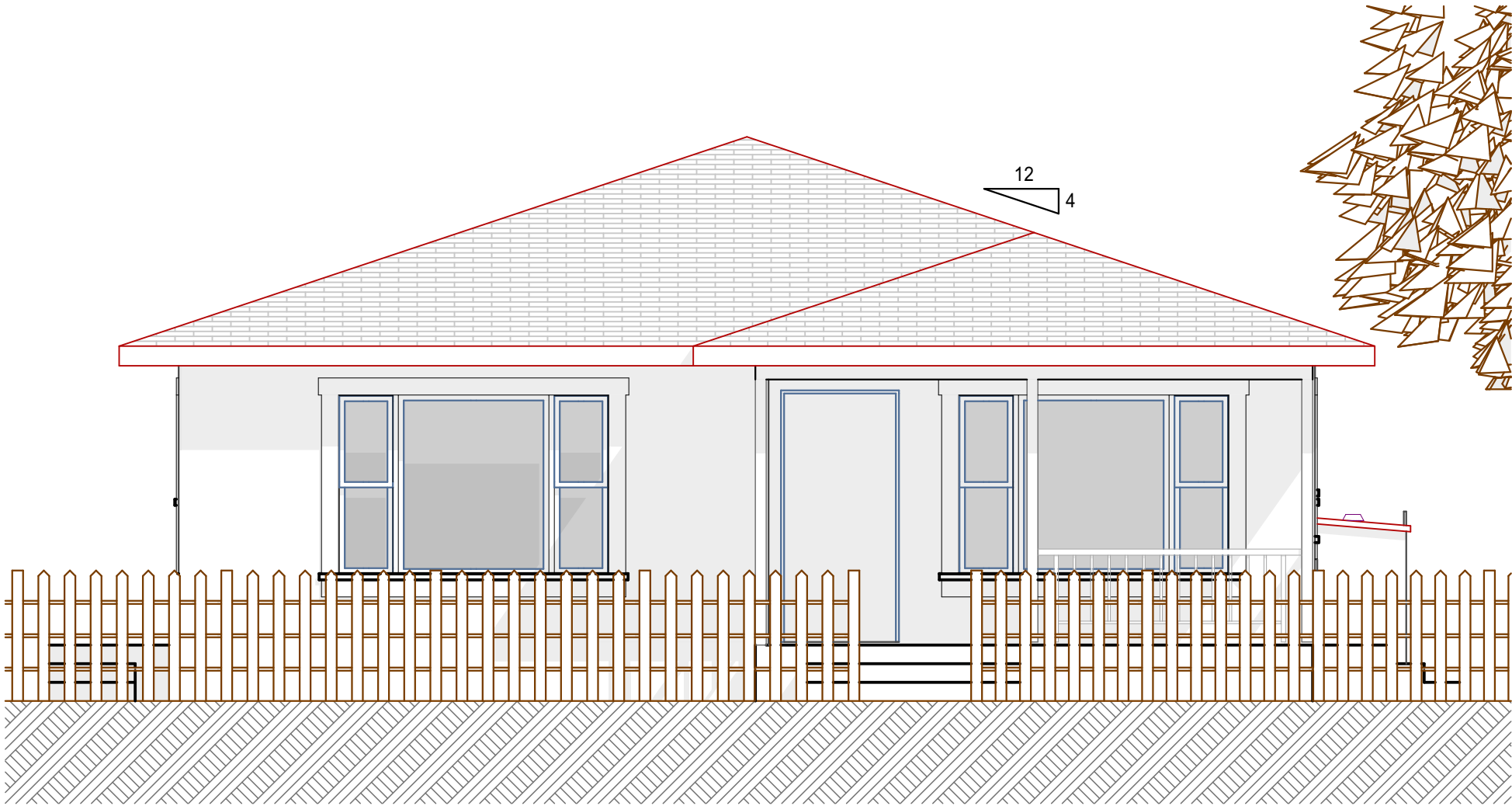
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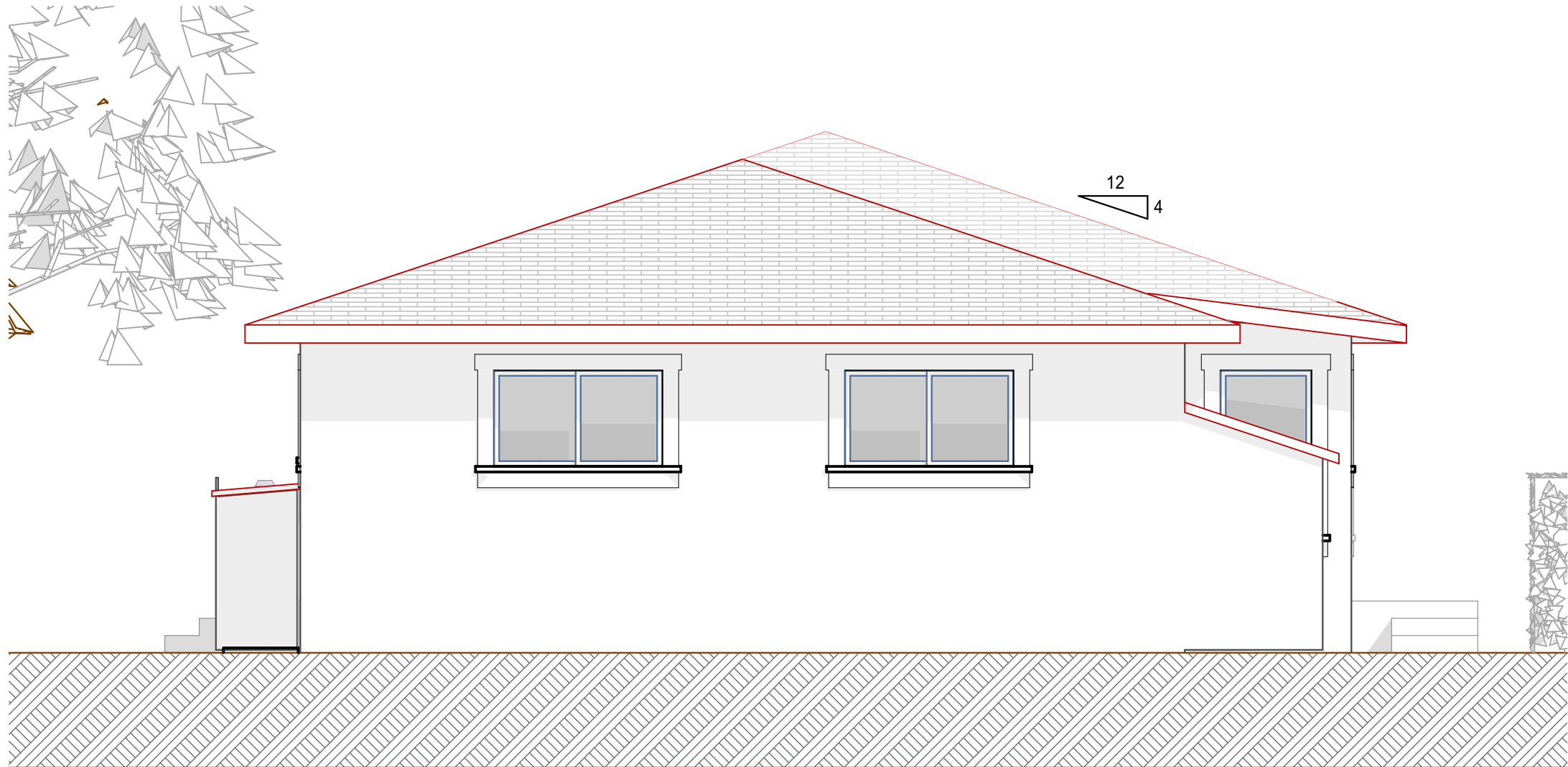
SHEET
ELEVATIONS



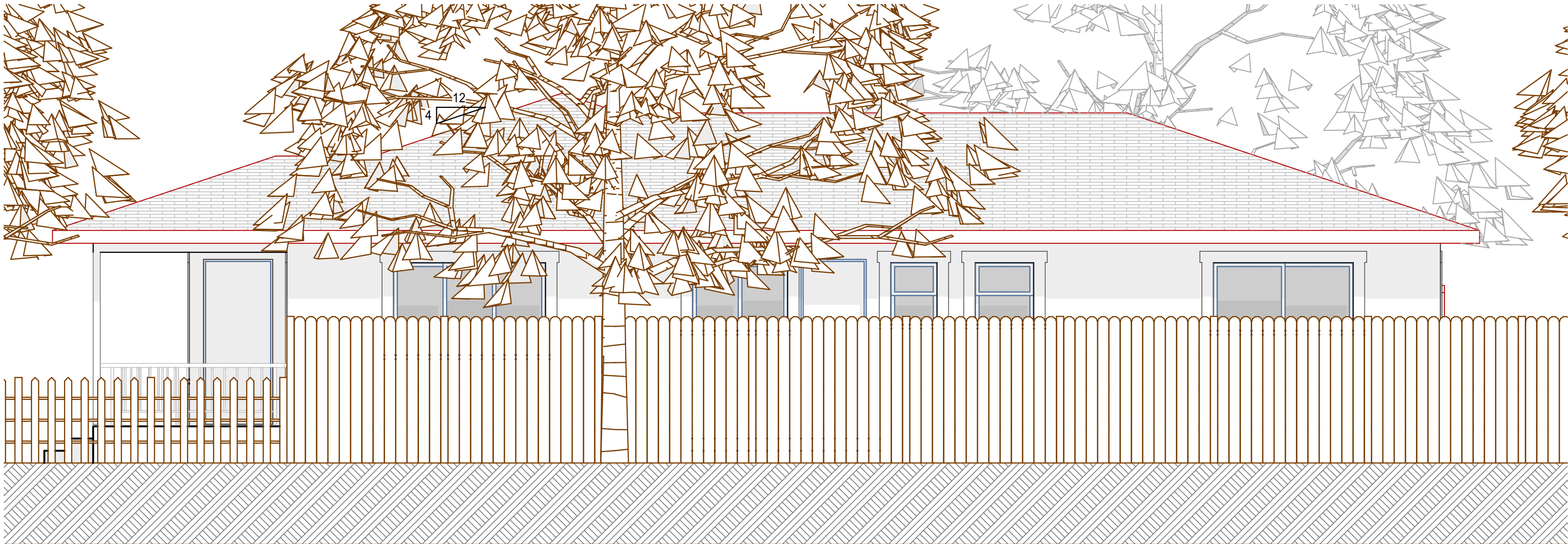
E ELEVATION EAST - EXISTING
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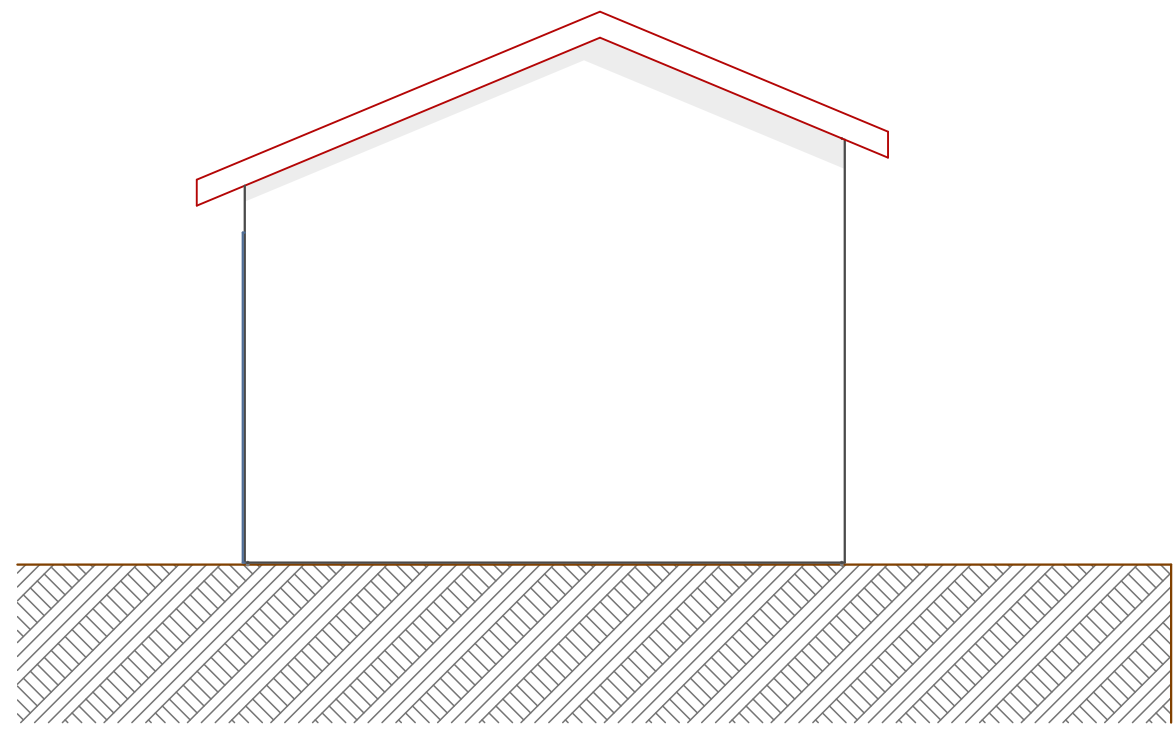
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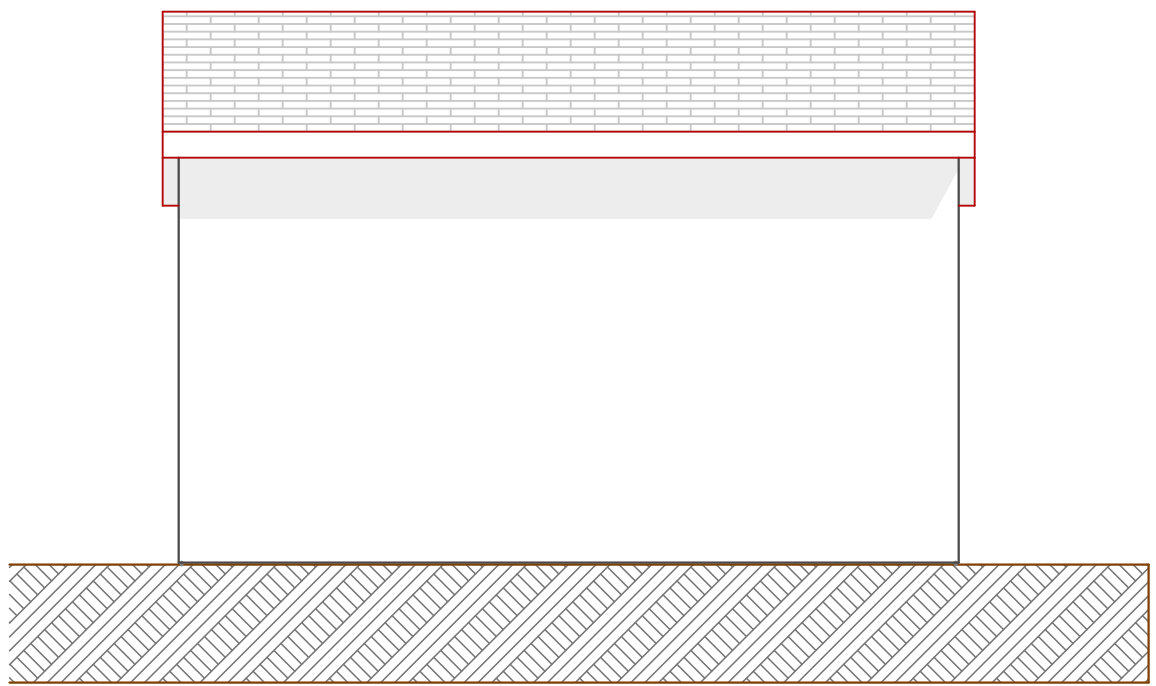
S ELEVATION SOUTH - EXISTING
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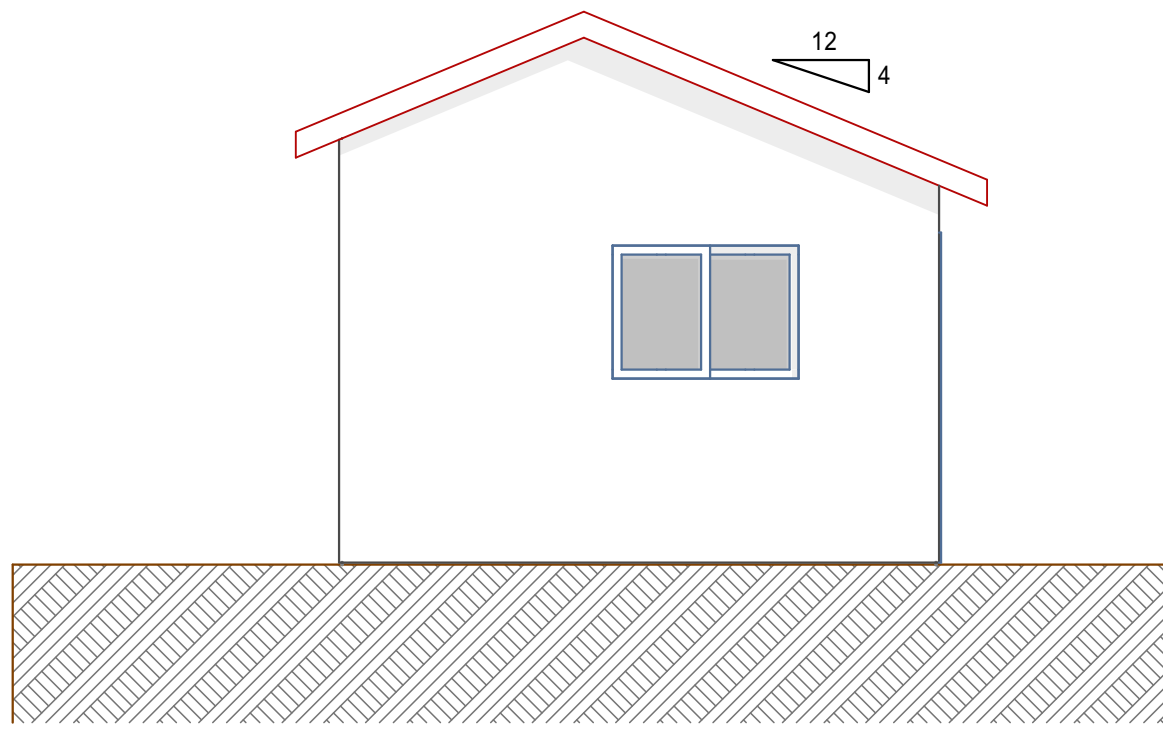
W ELEVATION WEST - EXISTING
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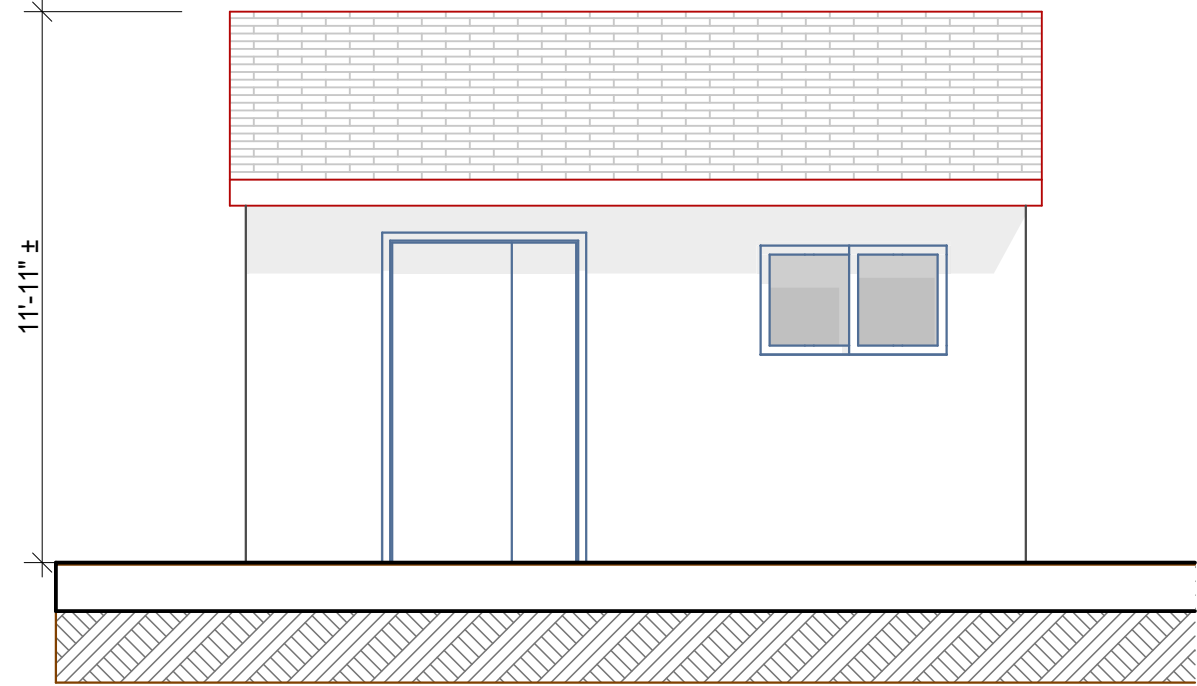
S ELEVATION SOUTH - SHED/GARAGE
SCALE: 1/4" = 1'-0"



E ELEVATION EAST - SHED/GARAGE
SCALE: 1/4" = 1'-0"

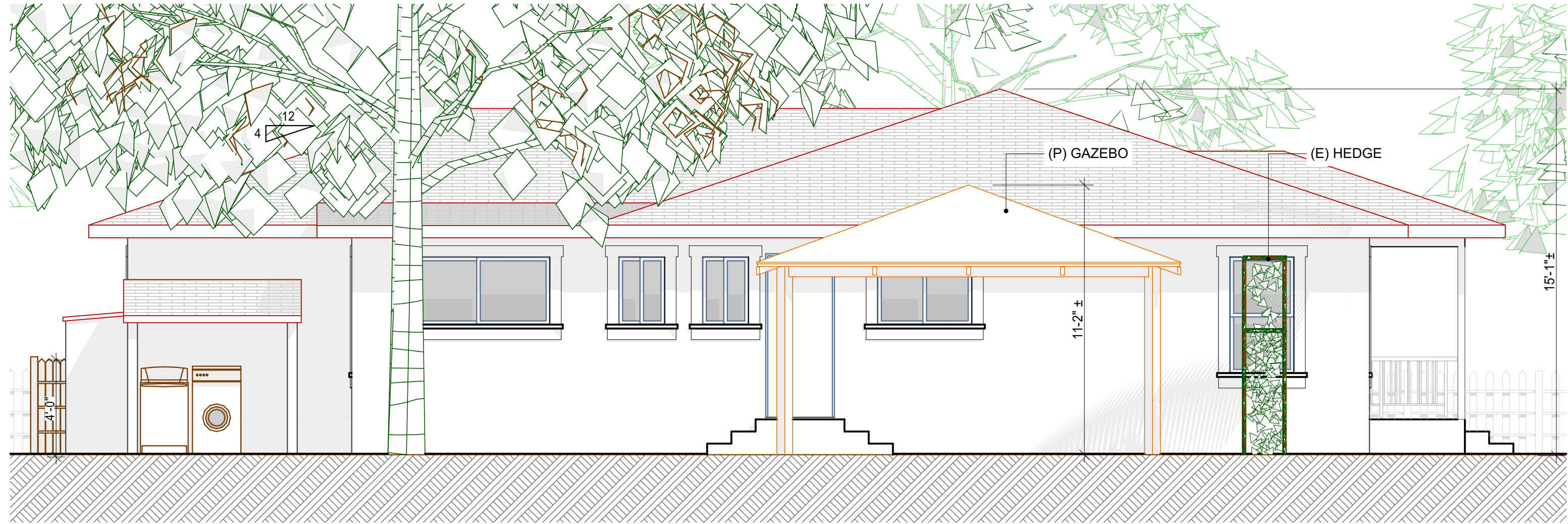


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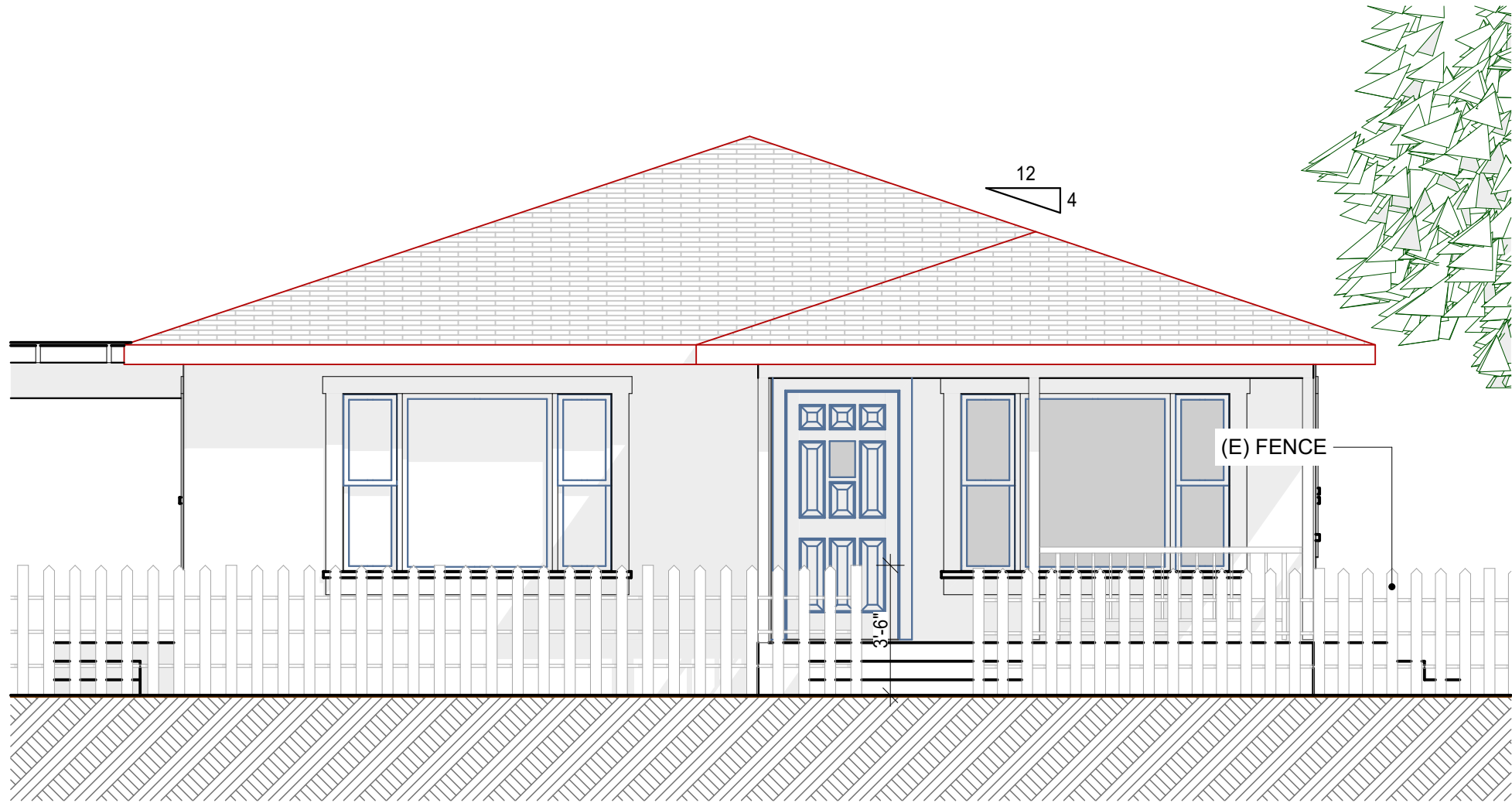


W ELEVATION WEST - SHED/GARAGE
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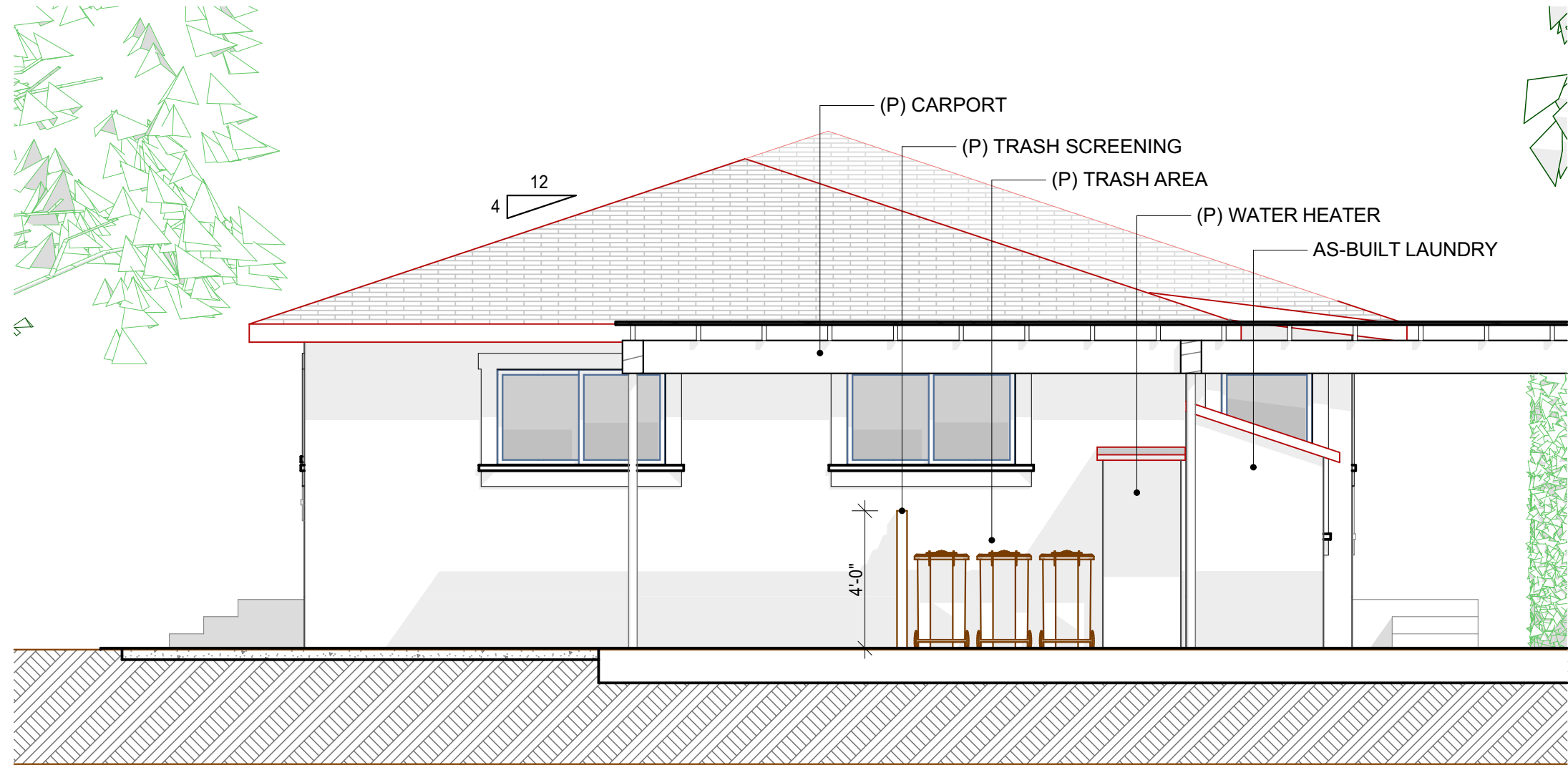
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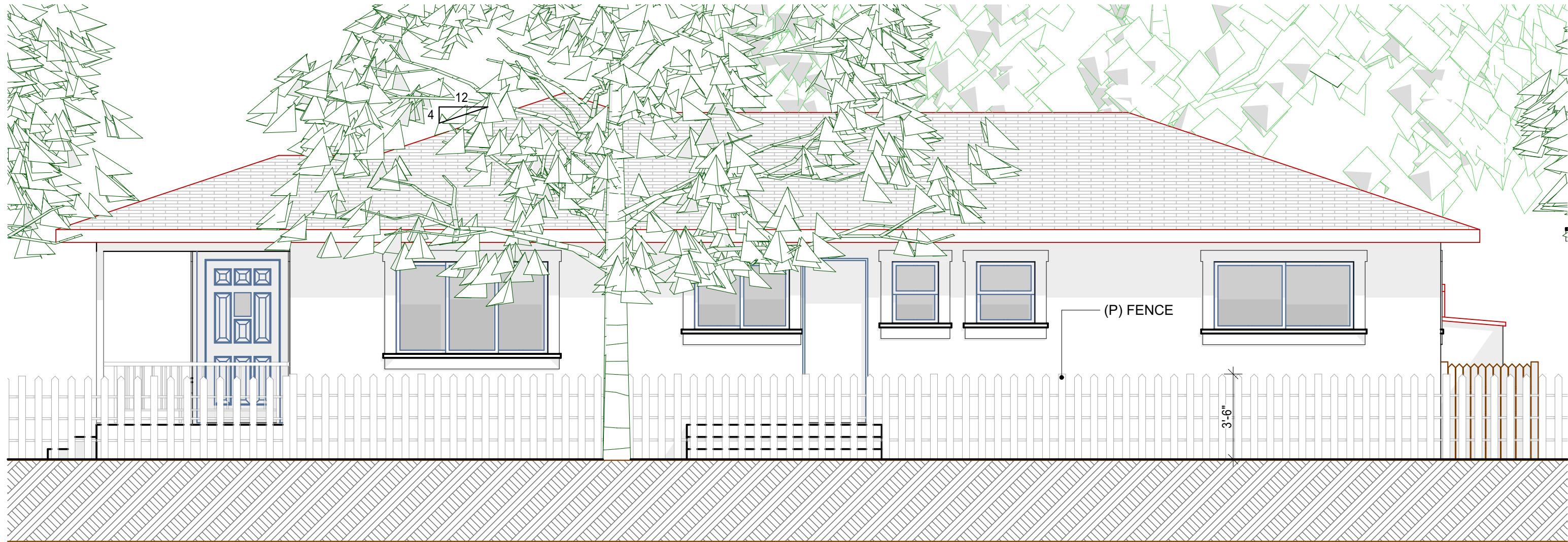
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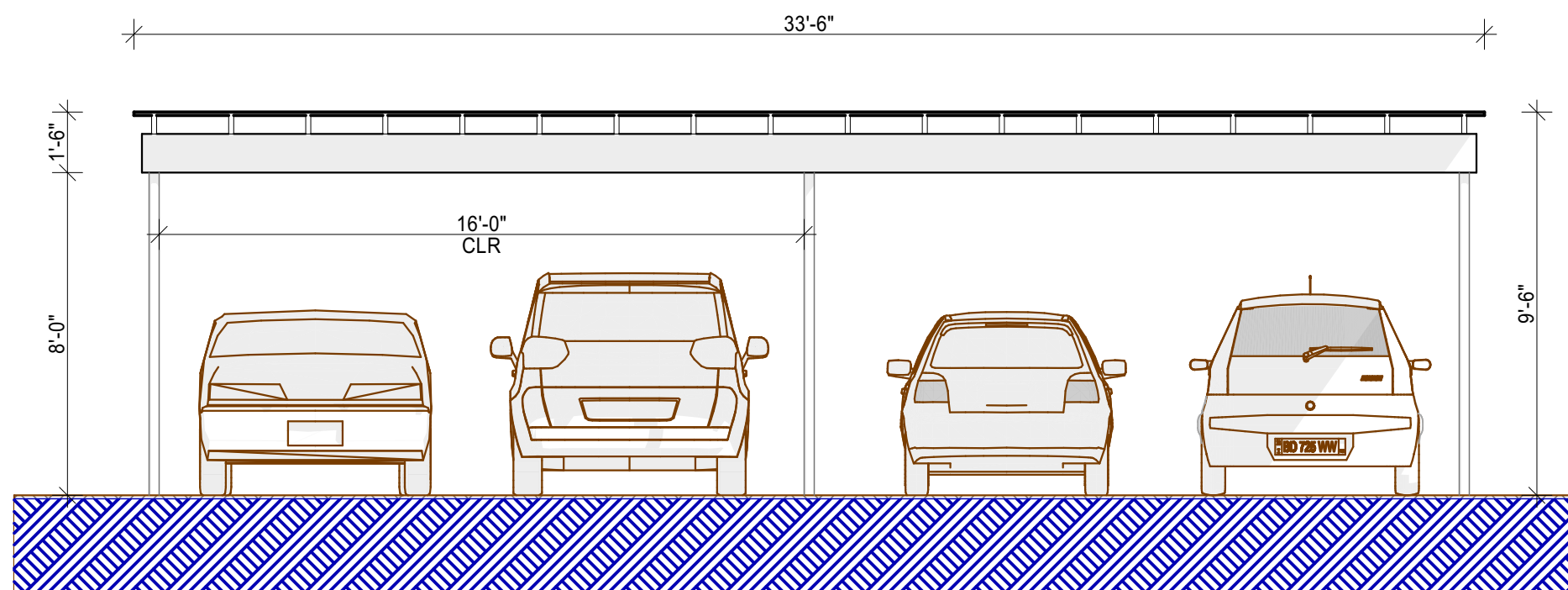
N ELEVATION NORTH - PROPOSED
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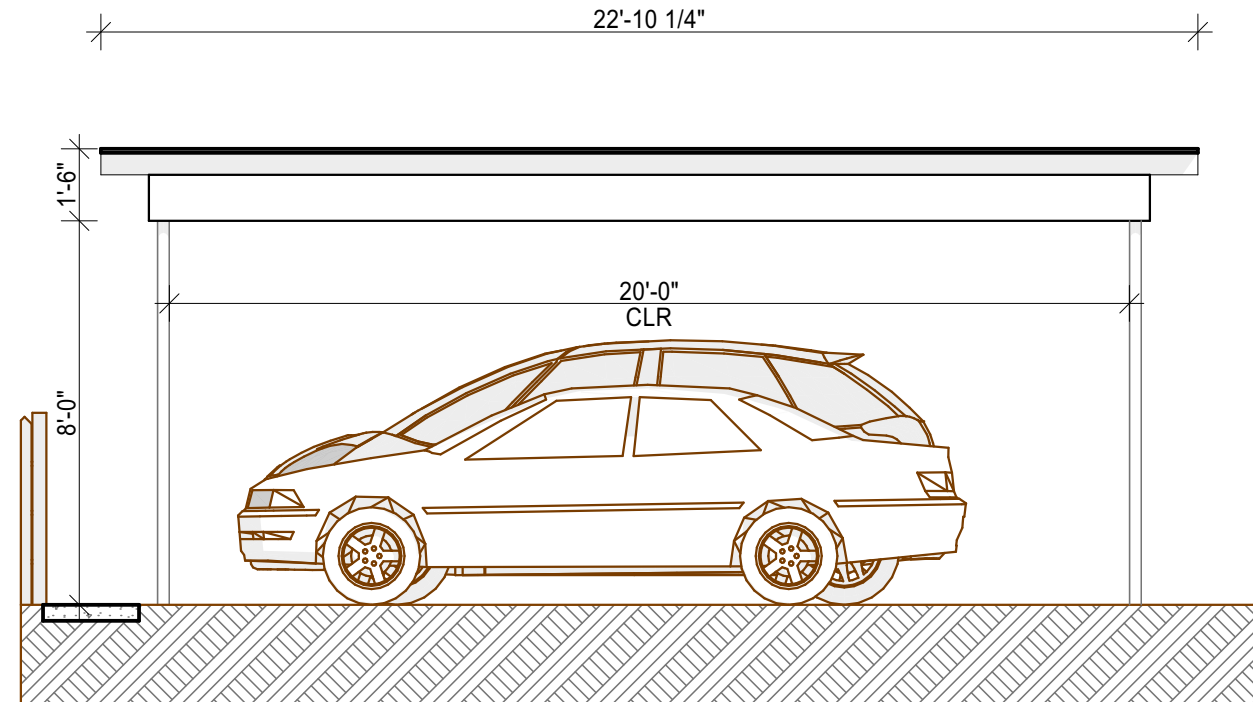
S ELEVATION SOUTH - PROPOSED
SCALE: 1/4" = 1'-0"



W ELEVATION WEST - PROPOSED
SCALE: 1/4" = 1'-0"



N PROPOSED CARPORT ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



W PROPOSED CARPORT ELEVATION WEST
SCALE: 1/4" = 1'-0"